

020.A

0004

0410.0

Map

Block

Lot

1 of 1

Condominium

CARD

ARLINGTON

APPRAISED:

Total Card / Total Parcel

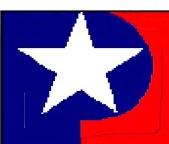
436,800 / 436,800

USE VALUE:

436,800 / 436,800

ASSESSED:

436,800 / 436,800


Patriot
Properties Inc.
PROPERTY LOCATION

No	Alt No	Direction/Street/City
34		HAMILTON RD, ARLINGTON

OWNERSHIP

Owner 1:	DOLHARE VISHAKHA	Unit #:	410
Owner 2:			
Owner 3:			
Street 1:	88 LEWIS RD		
Street 2:			

Twn/City: BELMONT

St/Prov: MA Cntry Own Occ: N
Postal: 02478 Type:**PREVIOUS OWNER**

Owner 1: ROBERTS CHRISTINA -

Owner 2: -

Street 1: 34 HAMILTON ROAD UNIT 410

Twn/City: ARLINGTON

St/Prov: MA Cntry
Postal: 02476**NARRATIVE DESCRIPTION**

This parcel contains . Sq. Ft. of land mainly classified as Condo with a Condo Garden Building built about 1985, having primarily Brick Exterior and 958 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 0 HalfBath, 4 Rooms, and 2 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R6	APTS LOW		water		
o				Sewer		
n				Electri		
Census:				Exempt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Influ	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
102	Condo		0	Sq. Ft.	Site			0	0.	0.00	6049																

IN PROCESS APPRAISAL SUMMARY

Use Code		Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description		User Acct
102		0.000	436,800			436,800			145916
							GIS Ref		
							GIS Ref		
							Insp Date		
							12/14/17		

PREVIOUS ASSESSMENT

Parcel ID								Date		
Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	102	FV	436,800	0	.	.	436,800	436,800	Year end	12/23/2021
2021	102	FV	423,600	0	.	.	423,600	423,600	Year End Roll	12/10/2020
2020	102	FV	411,500	0	.	.	411,500	411,500	Year End Roll	12/18/2019
2019	102	FV	337,100	0	.	.	337,100	337,100	Year End Roll	1/3/2019
2018	102	FV	301,900	0	.	.	301,900	301,900	Year End Roll	12/20/2017
2017	102	FV	280,900	0	.	.	280,900	280,900	Year End Roll	1/3/2017
2016	102	FV	280,900	0	.	.	280,900	280,900	Year End	1/4/2016
2015	102	FV	263,700	0	.	.	263,700	263,700	Year End Roll	12/11/2014

SALES INFORMATION

TAX DISTRICT								PAT ACCT.	
Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
ROBERTS CHRISTI	71887-525	2	11/15/2018		470,000	No	No		
CARLSON WILLIAM	62379-139		8/2/2013		300,000	No	No		
CARLSON WILLIAM	43179-465		6/30/2004	Family		1	No	No	
IZEN MELVIN & S	32842-551		5/11/2001		225,000	No	No		
IZEN MELVIN/ETA	24726-480		7/25/1994		99	No	No	A	

BUILDING PERMITS

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment	Date	Result	By	Name
8/14/2002	668	Redo Kit	5,000	O		G4	GR FY04		9/9/2021	USPS	JO	Jenny O
									8/26/2021	USPS	JO	Jenny O
									8/16/2019	Mail Update	JO	Jenny O
									12/14/2017	Measured	DGM	D Mann
									5/6/2000		197	PATRIOT

Sign: _____ VERIFICATION OF VISIT NOT DATA _____ / _____ / _____

EXTERIOR INFORMATION				BATH FEATURES				COMMENTS				SKETCH									
Type: 7	- Condo Garden			Full Bath: 1	Rating: Average			BK; 17273 PG; 393, Building Number 34.													
Sty Ht: 1	- 1 Story			A Bath:	Rating:																
(Liv) Units: 1	Total: 1			3/4 Bath:	Rating:																
Foundation: 1 - Concrete				A 3QBth:	Rating:																
Frame: 1 - Wood				1/2 Bath:	Rating:																
Prime Wall: 7 - Brick				A HBth:	Rating:																
Sec Wall:				OthrFix:	Rating:																
Roof Struct: 4 - Flat				OTHER FEATURES																	
Roof Cover: 4 - Tar & Gravel				Kits: 1	Rating: Good																
Color: BRICK				A Kits:	Rating:																
View / Desir: R - REAR				Frl:	Rating:																
GENERAL INFORMATION				WSFlue:	Rating:																
Grade: C - Average				CONDOS INFORMATION																	
Year Blt: 1985		Eff Yr Blt:		Location: R - Rear																	
Alt LUC:		Alt %:		Total Units:																	
Jurisdct: G4		Fact: .		Floor: 4 - 4th Floor																	
Const Mod:				% Own: 0.441900015																	
Lump Sum Adj:				Name: 34 - 6049																	
INTERIOR INFORMATION				DEPRECIATION				REMODELING								RES BREAKDOWN					
Avg Ht/FL: STD				Phys Cond: GD - Good	16. %			Exterior:				No Unit RMS BRS FL									
Prim Int Wal 2 - Plaster				Functional:	%			Interior:				1 4 2 0									
Sec Int Wall:				Economic:	%			Additions:													
Partition: E - Typical				Special:	%			Kitchen: 2002													
Prim Floors: 4 - Carpet				Override:	%			Baths:													
Sec Floors:				Total:	16.3 %			Plumbing:													
Bsmnt Flr: 12 - Concrete				CALC SUMMARY				Electric:													
Subfloor:				Basic \$ / SQ: 325.00				Heating:													
Bsmnt Gar:				Size Adj.: 1.12630486				General:													
Electric: 3 - Typical				Const Adj.: 1.12058091				Totals													
Insulation: 2 - Typical				Adj \$ / SQ: 410.188																	
Int vs Ext: S				Other Features: 34835																	
Heat Fuel: 1 - Oil				Grade Factor: 1.00																	
Heat Type: 3 - Forced H/W				NBHD Inf: 1.22000003																	
# Heat Sys: 1				NBHD Mod:																	
% Heated: 100	% AC: 100			LUC Factor: 1.00																	
Solar HW: NO	Central Vac: NO			Adj Total: 521910																	
% Com Wal	% Sprinkled			Depreciation: 85071																	
Mobile Home				Depreciated Total: 436839				WtAv\$/SQ: AvRate: Ind.Val													
SPEC FEATURES/YARD ITEMS								Juris. Factor: 1.00 Before Depr: 500.43													
								Special Features: 0 Val/Su Net: 455.95													
								Final Total: 436800 Val/Su SzAd: 455.95													
Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod JFact	Juris. Value	PARCEL ID	020.A-0004-0410.0		
More: N	Total Yard Items:					Total Special Features:								Total:							